



# Elms Close

Little Wymondley, Hitchin,  
Hertfordshire, SG4 7HP  
Guide Price £450,000

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properties

Positioned within a quiet cul de sac in the popular village of Little Wymondley is this well presented three bedroom semi detached family home. The property benefits from garage and driveway parking.

The ground floor comprises entrance hall with WC, spacious and bright living room opening onto the separate dining room, modern fitted kitchen and conservatory onto the rear garden.

To the upstairs are two generous double bedrooms with fitted wardrobes, single bedroom and modern family bathroom.

Outside is a well maintained rear garden mainly laid to lawn with patio space. The front offers an additional garden with a separate single garage and driveway parking close by.

Little Wymondley is a village situated between Hitchin and Stevenage in Hertfordshire. Paradoxically, it is larger than its near neighbour Great Wymondley. It has several interesting houses, including the moated Bury of the 16th and 17th centuries, the fine 17th century Hall, the late Georgian Wymondley House, and Wymondley Priory, an early 13th century foundation turned into a house in the 16th and 17th centuries.

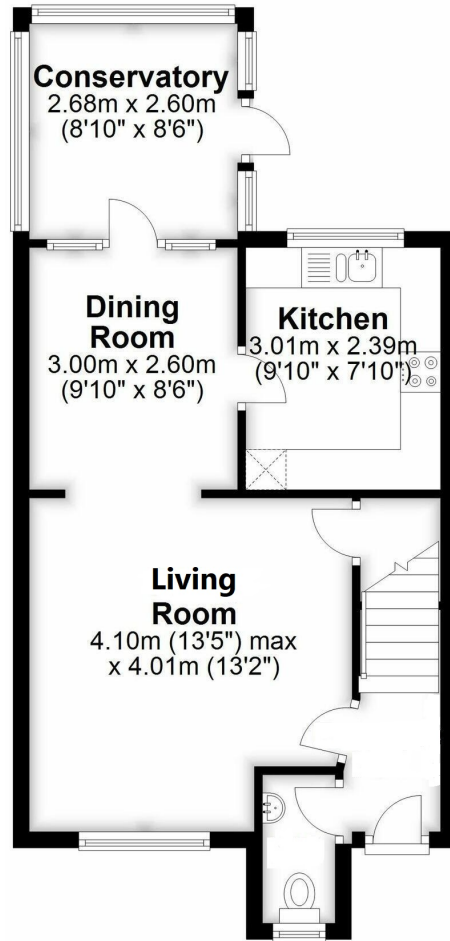
- Semi-detached family home
- Three Bedrooms
- Modern kitchen and bathroom
- Garage and driveway
- Front and rear gardens
- 3 miles, 7 mins drive to Hitchin train station (as per Google Maps)
- 2.2 miles, 6 min drive to Hitchin town centre (as per Google Maps)





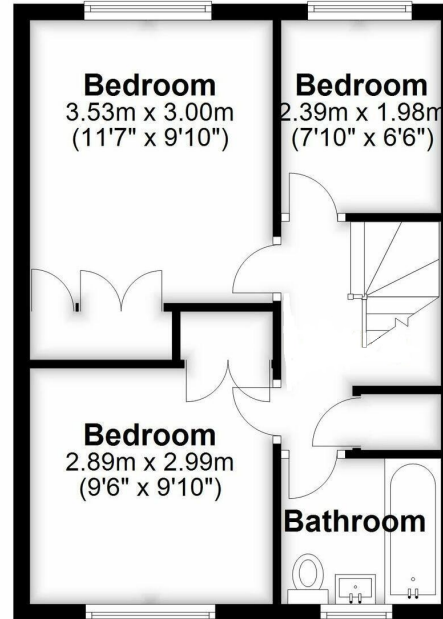
## Ground Floor

Approx. 45.3 sq. metres (487.4 sq. feet)



## First Floor

Approx. 36.8 sq. metres (395.9 sq. feet)



Total area: approx. 82.1 sq. metres (883.3 sq. feet)

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92+)	A		88
(81-91)	B		
(69-80)	C	74	
(55-68)	D		
(39-54)	E		
(21-38)	F		
(1-20)	G		
Not energy efficient - higher running costs			
England, Scotland & Wales			
EU Directive 2002/91/EC			

All measurements are approximate and quoted in metric with imperial equivalents and for general guidance only and whilst every attempt has been made to ensure accuracy, they must not be relied on. The fixtures, fittings and appliances referred to have not been tested and therefore no guarantee can be given and that they are in working order. Internal photographs are reproduced for general information and it must not be inferred that any item shown is included with the property. For a free valuation, contact the numbers listed on the brochure.

Viewing by appointment only

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