



TOTAL FLOOR AREA : 120.0 sq.m. (1292 sq.ft.) approx.
Measurements are approximate. Not to scale. Illustrative purposes only
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Viewing by appointment with our West Wickham Office - 020 8460 7252

5 Glebe House Drive, Hayes, Bromley, Kent, BR2 7BN

£775,000 Freehold

- Extended To Rear & Loft.
- Kitchen/Dining/Sitting Room.
- Bathroom & En Suite Shower.
- Short Walk Hayes Schools.
- Four Bedroom Semi Detached.
- Utility/White Cloakroom.
- Parking For Three Cars.
- Walking Distance Hayes Station.

Disclaimer: All measurements are approximate. No equipment, circuits or fittings have been tested. These particulars are made without responsibility on the part of the Agents or Vendor, their accuracy is not guaranteed nor do they form part of any contract and no warranty is given.
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5 Glebe House Drive, Hayes, Bromley, Kent, BR2 7BN

A stylishly presented and extended four bedroom semi detached family home spread across three floors and situated on a sought-after road just a short walk from the highly regarded Hayes Primary and Secondary Schools. The property features a stunning 20' 2" x 16' 6" open plan kitchen/dining/sitting room with bi-fold doors leading to the family friendly garden. The kitchen is well appointed with a range of painted wooden fronted units, granite work surfaces, including the island unit with integrated appliances and a tall larder with ample storage. Additional highlights include a separate cozy living room with wood burning stove as well as a utility room with w.c, The generous principal bedroom on the second floor has beautiful built in wardrobes, a dressing table and ensuite. On the first floor there are three other bedrooms and the family bathroom has a shaped bath, low level wc and chrome towel rail. Parking for three cars along with the superb location just a stones throw from Hayes High Street and Station makes this property a very alluring prospect for buyers looking for their dream home in this fabulous location.

Location

Glebe House Drive is off Hayes Wood Avenue, which runs between George Lane and Burwood Avenue. Hayes Secondary school is off Baston Road and Hayes Primary is off George Lane. There are shops and Hayes Library in Hayes Street. Hayes Station and shops in Station Approach are about 0.7 of a mile away. Bus services pass along Baston Road to Bromley High Street and Bromley South Station, which are about 2 miles away.



Ground Floor

Entrance

Via enclosed porch with UPVC front door, tiled floor and part glazed leaded light front door to:

Hallway

2.74m x 1.75m (9' x 5' 9") Double glazed leaded light side bay window, understairs cupboard housing gas and electric meters, vinyl flooring, picture rail, upright radiator

Kitchen/Dining/Sitting Room

6.15m x 5.03m (20' 2" x 16' 6") Appointed with a range of painted wooden fronted fitted wall and base units and drawers, granite work surfaces including to the island unit with an AEG dishwasher, double ceramic sink with a chrome mixer tap, Rangemaster range style oven with extractor canopy above, space for an American style Fridge/Freezer, double larder unit and tall storage unit, three remote controlled Velux windows, double gazed bi folding doors with internal blinds, tiled floor with underfloor heating, concealed lighting beneath wall units

Utility Room

2.84m x 1.02m (9' 4" x 3' 4") White low level w.c. and wash basin with a chrome mixer tap, tiled walls, plumbing/space for washing machine and space for tumble dryer with a unit above and a tall storage unit to one side with two doors, tiled floor, chrome heated towel rail

Living Room

4.17m x 3.91m (13' 8" x 12' 10" into alcoves) Double glazed leaded light bay window to front. Radiator. Wood burning stove on a granite hearth, built in cupboards to both alcoves with two shelves above.

First Floor

Landing

Double glazed leaded light side window over staircase

Bedroom 2

3.45m x 3.35m (11' 4" into bay x 11' into alcoves plus wardrobes) Double glazed leaded light front bay window to front, double radiator, painted wood effect chest of drawers with six drawers to one alcove, double fitted painted wood effect wardrobe and shelved wardrobe, understairs cupboard

Bedroom 3

3.18m x 2.57m (10' 5" x 8' 5") Double glazed rear window, radiator

Bathroom

2.03m x 1.52m (6' 8" x 5') Double glazed leaded light window to side, double glazed port hole window with part stained glass with a Kingfisher to front, white wash basin with a chrome mixer tap and a double cupboard beneath, concealed cistern low level w.c., shaped shower/bath with a chrome shower and chrome mixer tap and hand shower attachment, chrome heated towel rail, tiled walls and floor

Bedroom 4

2.39m x 2.03m (7' 10" x 6' 8") Double glazed window to rear, radiator, wood effect flooring picture rail

Second Floor

Small Landing

Ceiling downlight

Bedroom 1

5.74m x 4.72m (18' 10" reducing to 5.18m 17' x 15' 6" reducing to 2.74m 9') Two double glazed rear windows, two radiators, wood effect flooring, double glazed leaded light front window, door to:

En Suite Shower

3.45m x 1.09m (11' 4" x 3' 7") Double glazed leaded light window to front, white low level w.c. and wash basin with a chrome mixer tap having a double cupboard beneath, tiled walls, tiled floor with underfloor heating, heated towel rail, walk in shower with a chrome shower and sliding door, extractor fan

Outside

Rear Garden

12.50m x 7.62m (41' x 25') Paved terrace, lawn, shrubs, Silver Birch tree, side access gate, Keter shed with power and light

Front Garden

Brick pavior parking for three cars, outside tap, outside storage cupboard housing Worcester boiler

Additional Information

Council Tax

London Borough of Bromley - Band E. For the current rate visit: bromley.gov.uk/council-tax/council-tax-guide.

Utilities

Mains - Gas, Electric, Water and Sewerage

Broadband and Mobile

For coverage at this property, please visit: checker.ofcom.org.uk/en-gb/broadband-coverage checker.ofcom.org.uk/en-gb/mobile-coverage