020 8460 7252

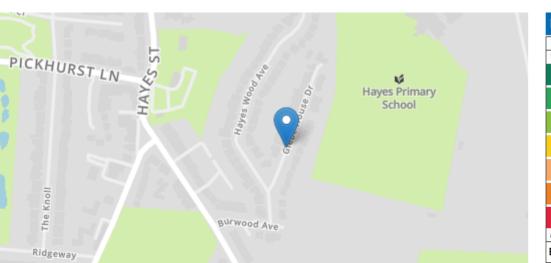
westwickham@proctors.london

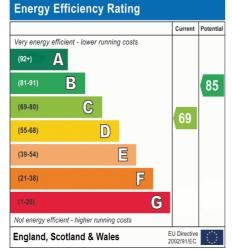


West Wickham Office

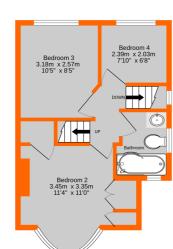
📀 318 Pickhurst Lane, West Wickham, BR4 OHT 020 8460 7252

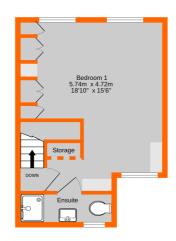
westwickham@proctors.london











2nd Elo

TOTAL FLOOR AREA : 120.0 sg.m. (1292 sg.ft.) approx approximate. Not to scale. Illustrativ Made with Metropix ©2025

visdaimer: All measurements are approximate. No equipment, circuits or fittings have been tested. These particulars are made without responsibility on the part of the gents or Vendor, their accuracy is not guaranteed nor do they form part of any contract and no warranty is given.

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Viewing by appointment with our West Wickham Office - 020 8460 7252

5 Glebe House Drive, Hayes, Bromley, Kent, BR2 7BN

£775,000 Freehold

- Extended To Rear & Loft. Four Bedroom Semi Detached. Kitchen/Dining/Sitting Room. Ottility/White Cloakroom. Bathroom & En Suite Shower. Parking For Three Cars.
- Short Walk Hayes Schools.

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George Proctor & Partners trading as Proctors

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Walking Distance Hayes Station.



5 Glebe House Drive, Hayes, Bromley, Kent, BR2 7BN

A stylishly presented and extended four bedroom semi detached family home spread across three floors and situated on a sought-after road just a short walk from the highly regarded Hayes Primary and Secondary Schools. The property features a stunning 20' 2" x 16' 6" open plan kitchen/dining/sitting room with bifold doors leading to the family friendly garden. The kitchen is well appointed with a range of painted wooden fronted units, granite work surfaces, including the island unit with integrated appliances and a tall larder with ample storage. Additional highlights include a separate cozy living room with wood burning stove as well as a utility room with w.c, The generous principal bedroom on the second floor has beautiful built in wardrobes, a dressing table and ensuite. On the first floor there are three other bedrooms and the family bathroom has a shaped bath, low level wc and chrome towel rail. Parking for three cars along with the superb location just a stones throw from Hayes High Street and Station makes this property a very alluring prospect for buyers looking for their dream home in this fabulous location.

Location

Glebe House Drive is off Hayes Wood Avenue, which runs between George Lane and Burwood Avenue. Hayes Secondary school is off Baston Road and Hayes Primary is off George Lane. There are shops and Hayes Library in Hayes Street. Hayes Station and shops in Station Approach are about 0.7 of a mile away. Bus services pass along Baston Road to Bromley High Street and Bromley South Station, which are about 2 miles away.





Ground Floor

Entrance

and part glazed leaded light front door to:

Hallway

picture rail, upright radiator

Kitchen/Dining/Sitting Room

6.15m x 5.03m (20' 2" x 16' 6") Appointed with a range of painted wooden fronted fitted wall and base units and drawers, granite work surfaces dishwasher, double ceramic sink with a chrome window, radiator mixer tap, Rangemaster range style oven with extractor canopy above, space for an American style Fridge/Freezer, double larder unit and tall storage unit, three remote controlled Velux windows, double gazed bi folding doors with internal blinds, tiled floor with underfloor heating, concealed lighting beneath wall units

Utility Room

2.84m x 1.02m (9' 4" x 3' 4") White low level w.c. and wash basin with a chrome mixer tap, tiled walls, plumbing/space for washing machine and space for tumble dryer with a unit above and a tall storage unit to one side with two doors, tiled floor, chrome heated towel rail

Living Room

4.17m x 3.91m (13' 8" x 12' 10" into alcoves) Double glazed leaded light bay window to front Radiator. Wood burning stove on a granite hearth, built in cupboards to both alcoves with two shelves above

First Floor

Landing

staircase

Bedroom 2

2.74m x 1.75m (9' x 5' 9") Double glazed leaded 3.45m x 3.35m (11' 4" into bay x 11' into alcoves 3.45m x 1.09m (11' 4" x 3' 7") Double glazed light side bay window, understairs cupboard plus wardrobes) Double glazed leaded light front leaded light window to front, white low level w.c housing gas and electric meters, vinyl flooring, bay window to front, double radiator, painted and wash basin with a chrome mixer tap having a wood effect chest of drawers with six drawers to double cupboard beneath, tiled walls, tiled floor one alcove, double fitted painted wood effect with underfloor heating, heated towel rail, walk in wardrobe and shelved wardrobe, understairs shower with a chrome shower and sliding door cupboard extractor fan

Bedroom 3

including to the island unit with an AEG 3.18m x 2.57m (10' 5" x 8' 5") Double glazed rear

2.03m x 1.52m (6' 8" x 5') Double glazed leaded shed with power and light light window to side, double glazed port hole window with part stained glass with a Kingfisher Front Garden to front, white wash basin with a chrome mixer Brick pavior parking for three cars, outside tap tap and a double cupboard beneath, concealed outside storage cupboard housing Worcester boiler cistern low level w.c., shaped shower/bath with a **Additional Information** chrome shower and chrome mixer tap and hand shower attachment, chrome heated towel rail **Council Tax** tiled walls and floor

Bedroom 4

2.39m x 2.03m (7' 10" x 6' 8") Double glazed tax/council-tax-guide. window to rear, radiator, wood effect flooring picture rail

Second Foor

Small Landing

Ceiling downlight

Bathroom





Bedroom 1

5.74m x 4.72m (18' 10" reducing to 5.18m 17' x 15 6" reducing to 2.74m 9') Two double glazed rear Via enclosed porch with UPVC front door, tiled floor Double glazed leaded light side window over windows, two radiators, wood effect flooring, double glazed leaded light front window, door to:

En Suite Shower

Outside

Rear Garden

12.50m x 7.62m (41' x 25') Paved terrace, lawn shrubs, Silver Birch tree, side access gate, Keter

London Borough of Bromley - Band E. For the current rate visit: bromley.gov.uk/council-

Utilities

Mains - Gas, Electric, Water and Sewerage

Broadband and Mobile

For coverage at this property, please visit: checker.ofcom.org.uk/en-gb/broadband-coverage checker.ofcom.org.uk/en-gb/mobile-coverage