



11 Fairlight Close, Bexhill-on-Sea, East
Sussex TN40 2PT



PROPERTY DESCRIPTION

A deceptively spacious and well presented THREE DOUBLE BEDROOM semi-detached house ideally located at the end of a quiet cul-de-sac within easy reach of Ravenside Retail Park and Glyne Gap Beach. The ground floor accommodation comprises; entrance porch, entrance hall, cloakroom/WC, bay fronted lounge with archway through to the dining room, south facing conservatory, modern fitted kitchen and large utility room with integral access into the garage. To the first floor there are three bedrooms all with built-in wardrobes and a modern bathroom. Outside there is a block paved driveway providing off road parking for SEVERAL VEHICLES, SOUTH FACING REAR GARDEN and workshop. EPC - E.

FEATURES

- Three Bedroom Semi-Detached House
- Bay Fronted Lounge
- Dining Room with French Doors into the Conservatory
- Modern Kitchen
- Large Utility Room
- Integral Garage and Workshop Area
- South Facing Garden
- Plenty of Off Road Parking
- Quiet Cul-De-Sac Location
- Council Tax Band - C





ROOM DESCRIPTIONS

Entrance Porch

Accessed via UPVC front door with double glazed patterned insert, further double glazed pattern window.

Entrance Hall

Accessed via obscured glass door, further obscured glass window to the side, borrowed light from the lounge, ceiling coving, stairs rising to the first floor, radiator.

Cloakroom/WC

Double glazed patterned window to the side, a modern fitted white suite comprising; low-level WC, corner wash hand basin with chrome mixer tap and cupboard under, radiator, part tiled walls.

Living Room

27' 11" x 12' 0" (8.51m x 3.66m) (Including Dining Room Measurement) Double glazed bay window to the front, ceiling, coving, radiator, television point, archway through to the dining room.

Dining Room

Double glazed windows and French doors to the rear with the latter opening into the conservatory, ceiling, coving, radiator, door into kitchen.

Conservatory

11' 11" x 7' 3" (3.63m x 2.21m) Double glazed windows and sliding door to the rear with the latter opening into the garden, power point, lighting.

Kitchen

13' 2" max x 8' 10" (4.01m x 2.69m) Double glazed window to the rear overlooking the garden, ceiling coving, a modern fitted kitchen comprising; a range of laminated working services with stainless steel sink and drain unit with mixer tap, inset four ring electric hob with concealed extractor fan over, a range of matching wall and base cupboards with fitted drawers, built-in eye level double oven and grill, space for; dishwasher and other under-counter appliance, radiator, useful under-stairs storage cupboard.

Utility Room

15' 10" x 9' 9" reducing to 4' 5" (4.83m x 2.97m) Double glazed sliding doors to the rear, area of working surface with wall mounted cupboards above and below, space for various appliances including washing machine, tumble dryer and fridge/freezer, door into the garage.



First Floor Landing

Double glazed window to the side, access to loft space via hatch, airing cupboard with radiator and shelving, further large storage cupboard with shelving.

Bedroom One

12' 11" x 9' 10" to wardrobes (3.94m x 3.00m) Double glazed window to the front, ceiling coving, a range of built-in wardrobes across one elevation, radiator.

Bedroom Two

11' 11" x 10' 10" (3.63m x 3.30m) Double glazed window to the rear overlooking the garden, ceiling coving, three built-in cupboards, further overhead storage cupboards, radiator.

Bedroom 3

8' 11" x 7' 11" (2.72m x 2.41m) Double glazed window to the front, built-in cupboard, overhead storage, radiator.

Bathroom

Double glazed patterned window to the rear, a modern fitted white suite comprising; panelled p-shaped bath with Redring electric shower over and fitted screen, low level WC with concealed cistern, inset wash hand basin with chrome mixer tap and cupboard under, chrome heated ladder style towel rail, tiled walls.

Outside

The front of the property is approached via a large block paved driveway providing off road parking for multiple vehicles and leads to the garage, outside lighting.

The rear garden benefits from being of a southerly aspect and measures approximately 39' in width x 28ft in depth. There is a large block paved area ideal for outside entertaining, further area of hard standing, brick built bbq, metal framed storage shed, water tap, the remainder of the rear garden is mainly laid to lawn with various shrubs and bushes.

Garage

Accessed via metal up and over door, power points, lighting.

Workshop

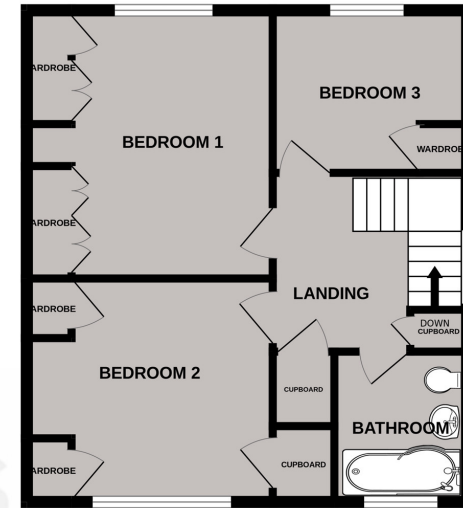
16' 4" x 7' 7" (4.98m x 2.31m) Windows to the rear and side and UPVC door accessed from the garden.

FLOORPLAN

GROUND FLOOR



1ST FLOOR



new foundations
INDEPENDENT ESTATE AGENTS

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Energy Efficiency Rating		Current	Potential
<i>Very energy efficient - lower running costs</i>			
(92-100)	A		
(81-91)	B		83
(69-80)	C		
(55-68)	D		
(39-54)	E	48	
(21-38)	F		
(1-20)	G		
<i>Not energy efficient - higher running costs</i>			
England, Scotland & Wales		EU Directive 2002/91/EC	

