

14 York Mews, Shepton Mallet, BA4 5GX



£230,000 Freehold

Situated in a quiet pedestrianised location within walking distance of the centre of the town and its amenities. The property offers well proportioned accommodation presented in good order throughout.

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 3  1  1 EPC C

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DESCRIPTION

The home is set in a small courtyard position close to the town's facilities including the local infant school and nursery.

You enter the home into the entrance hall which has doors to principal rooms and a staircase rising to the first floor with understairs cupboards. The kitchen / diner located to the front is fitted with a range of modern units incorporating sink unit and wood block surfaces, ceramic hob, canopy, oven, space for fridge / freezer, table and chairs. The south facing sitting room has French doors enjoying an outlook over the enclosed garden. The storage cupboard is fitted with plumbing for the washing machine.

On the first floor, a landing provides you with access to the three bedrooms. Bedrooms one and two are good size doubles, with bedroom one being situated at the front of the property and bedroom two to the rear. Both rooms have space for additional furniture. Bedroom three is a good sized single.

There is a family bathroom comprising a modern suite of panel enclosed bath with shower, low level wc and wash hand basin inset into cabinets.

The property benefits from a gas radiator heating system and double glazing.

Council Tax Band C

OUTSIDE

Accessed by a shared pathway from the communal parking, the front of the property enjoys an open courtyard. The front garden has raised planters.

The south facing rear garden is fully enclosed and designed for low maintenance with a covered decked seating area, artificial grass and paved patio.

There is allocated parking for one car.

AGENT'S NOTE

Whilst the property is freehold there are maintenance charges for the communal areas.

The annual charge varies in accordance with works required. The payment for 2023 - 2024 is £150.00

LOCATION

The historic town of Shepton Mallet offers a range of local amenities and shopping facilities including a selection of supermarkets. The town is well placed for access to the nearby centres of Wells, Frome, Midsomer Norton and the larger centres of Bath and Bristol. For those travelling by train Castle Cary and Frome offer main line stations London to Paddington

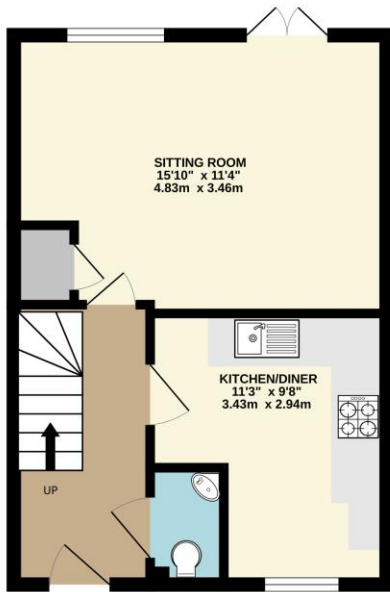
DIRECTIONS

From the Cooper and Tanner office proceed on foot across the traffic lights and through the Marketplace into the pedestrianised Town Street. On reaching the steps and railings cross over The Batch into Waterloo Road. Proceed towards Shepton Mallet

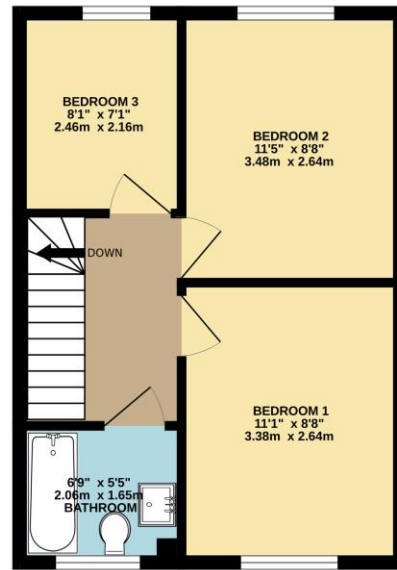




GROUND FLOOR
340 sq.ft. (31.6 sq.m.) approx.



1ST FLOOR
347 sq.ft. (32.3 sq.m.) approx.



TOTAL FLOOR AREA : 688 sq.ft. (63.9 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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**COOPER
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