

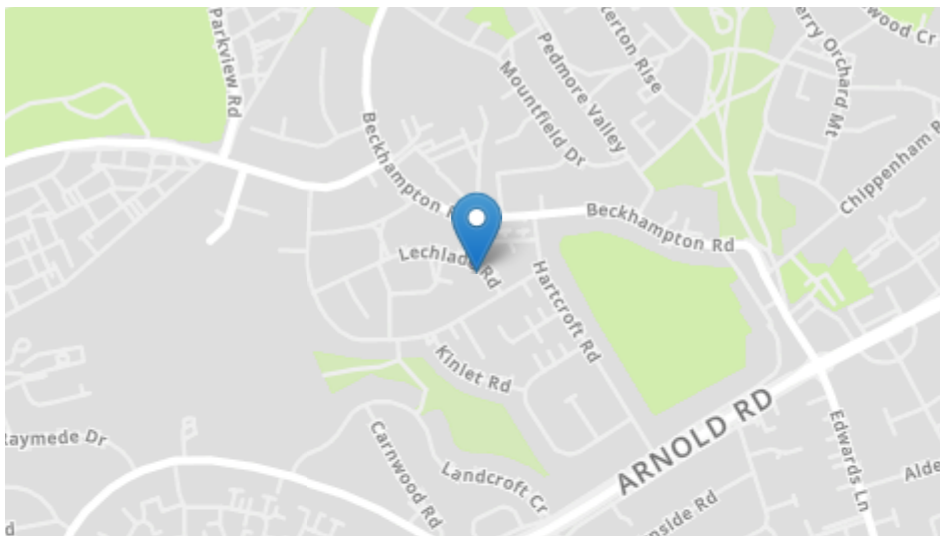
Lechlade Road, Bestwood Park, NG5 5JQ

Offers Over £190,000



Lechlade Road, Bestwood Park, NG5 5JQ

Offers Over £190,000



want to view?
Call us on 0115 938 5577
Our lines are open 8am - 8pm
7 Days a week
or email
mail@watsons-residential.co.uk
Ref - 30157837

- Semi Detached House
- 3 Bedrooms
- Generous Lounge Diner
- South West Facing Rear Garden
- Popular Residential Location
- Ease of Access to Nottingham City Centre
- Walking Distance To Amenities
- No Upward Chain

Our Seller says....

Important note to buyers: As the selling agents for the property described in this brochure we have taken all reasonable steps to ensure our property particulars are fair, accurate, reliable and reproduced in good faith however they do not form part of any offer or contract and do not constitute representations of fact. If you become aware that any information provided to you is inaccurate please contact our office as soon as possible so we can make the necessary amendments. All measurements are provided as a general guide and floor plans are for illustration purposes only. Appliances, equipment and services in the property have not been tested by us and we recommend all prospective buyers instruct their own service reports or surveys prior to exchanging contracts.



40 Main Street, Kimberley, NG16 2LY
www.watsons-residential.co.uk

0115 938 5577
8am-8pm - 7days



*** MAKE A HOUSE A HOME *** Located on the popular Bestwood Park estate is this much loved three bedroom semi-detached property, offering buyers the perfect opportunity to add your own stamp and create your perfect home. Brought to the market with no upward chain, features include a generous lounge/diner, kitchen, and a private south-west facing rear garden. Briefly comprising; entrance hallway, lounge/diner, breakfast kitchen. To the first floor, three bedrooms and bathroom. Outside, to the front is a generous garden which offers potential to create off road parking (subject to planning), and to the rear is a privately enclosed south-west facing garden. Other benefits include leased solar panels giving reduction in utility bills. Located in Bestwood Park, there are ample amenities on your doorstep including tram and bus links to the city, along with the City hospital and an array of shops and schools. Contact Watsons to arrange a viewing.

Ground Floor

Entrance Hall

UPVC double glazed entrance door to the front, radiator, stairs to the first floor, wood effect laminate flooring and door to the lounge.

Lounge Diner

7.24m x 3.14m (23' 9" x 10' 4") UPVC double glazed bay windows to the front & rear, radiator, wood effect laminate flooring, feature fire place with inset fire and door to the breakfast kitchen.

Breakfast Kitchen

5.75m x 2.54m (18' 10" x 8' 4") A range of matching wall & base units, work surfaces incorporating an inset sink & drainer unit. Integrated electric oven & hob with extractor over. Plumbing for washing machine, tiled floor, radiator, uPVC double glazed windows to the rear & side and door to the rear garden.

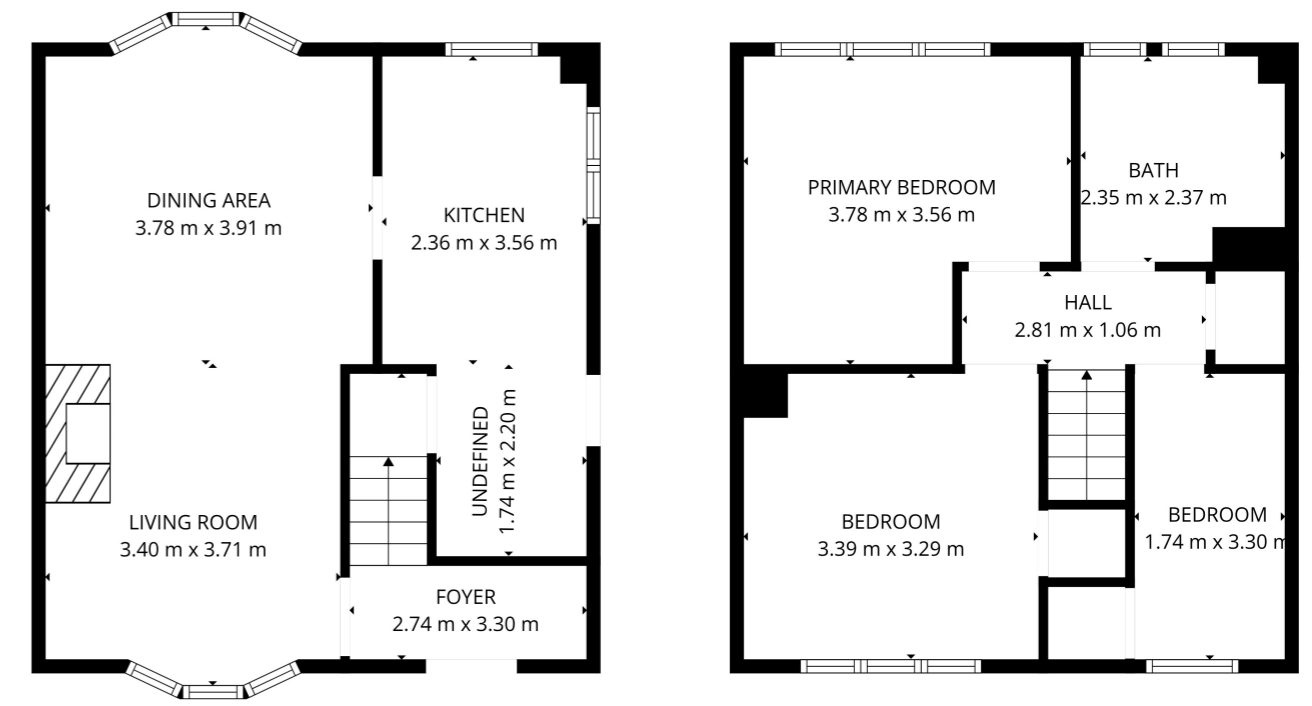
First Floor

Landing

Airing cupboard housing the hot water tank, access to the attic and doors to all bedrooms and bathroom.

Bedroom 1

3.53m x 3.16m (11' 7" x 10' 4") UPVC double glazed window to the front, storage cupboard, radiator and wood effect laminate flooring.



Ground floor

1st floor

TOTAL: 86 m²
Ground floor: 44 m², 1st floor: 42 m²
EXCLUDED AREAS: UNDEFINED: 2 m², WALLS: 8 m²

Bedroom 2

3.50m x 3.29m (11' 6" x 10' 10") UPVC double glazed window to the rear and radiator.

Bedroom 3

3.81m x 1.77m (12' 6" x 5' 10") UPVC double glazed window to the front, storage cupboard, wood effect laminate flooring and radiator.

Shower Room

3 piece suite in white comprising WC, vanity sink unit and oversized walk in shower. 2 obscured uPVC double glazed windows to the rear, chrome heated towel rail and ceiling spotlights.

Outside

To the front of the property are decorative paved and gravel areas enclosed by wall & timber fencing to the perimeter. The South West facing rear garden comprises decorative and gravel areas with a range of plants & shrubs. The garden is enclosed by timber fencing to the perimeter with gated access to the side.

Agents Note

The seller has provided us with the following information: the boiler is a back boiler and is around 20 years old.