



philip INDEPENDENT
ESTATE AGENT
Jarvis



16 Douglas Road, Lenham, Kent. ME17 2QP.

£1,295 pcm

Property Summary

"The houses in Douglas Road are so well positioned with the centre of the village within walking distance." Philip Jarvis, Director.

Well presented, the house benefits from a through lounge/diner, fitted kitchen and sun lounge. Added to this, there is a useful utility area and cloakroom. Upstairs there are the three bedrooms and bathroom.

Added to this, there is an enclosed rear garden enjoying a sunny aspect and two parking spaces.

An early viewing comes most recommended.

Features

- Three Bedroom End of Terrace House
- Two Parking Areas
- Sun Lounge and Utility Area
- Walking Distance of Village Centre
- Village Location
- Council Tax Band C
- Modern Kitchen and Bathroom
- Enclosed Rear Garden
- Through Lounge/Diner
- Double Glazed and Gas Central Heating
- EPC: D

Ground Floor

Double glazed entrance door to:

Porch

Door to:

Hall

Stairs to first floor. Understairs cupboard. Radiator.

Cloakroom

Frosted window to front. White low level wc. Corner hand basin.

Lounge/Dining Room

25' x 11' 2" narrowing to 8'6" (7.62m x 3.40m) Double glazed window to front. Double glazed patio doors to rear. Two radiators.

Kitchen

9' 8" x 8' 7" (2.95m x 2.62m) Double glazed window to rear. Door to conservatory. Range of brand new base and wall units. Stainless steel sink unit. Electric cooker with stainless steel splashback and extractor over. Space for fridge and freezer. Storage cupboard. Laminate flooring.

Lean to Sun Lounge

11' 6" x 7' 8" (3.51m x 2.34m) Double glazed windows to rear. Further windows to side. Double glazed sliding door to:

Rear Lobby/Utility Area

Double glazed doors to side and rear. Plumbing for washing machine. Door to brick storage shed (8'0 x 6'0). Window to side.

First Floor:

Landing

Cupboard housing wall mounted combination boiler. Access to loft.

Bedroom One

13' x 9' 8" (3.96m x 2.95m) Double glazed window to front. Radiator. Double wardrobe cupboard.

Bedroom Two

10' 5" x 9' 8" (3.18m x 2.95m) Double glazed window to rear. Radiator. Double wardrobe cupboard.

Bedroom Three

10' 2" x 7' 5" (3.10m x 2.26m) Double glazed window to front. Radiator. Wardrobe cupboard.

Bathroom

Double glazed frosted window to rear. White suite of low level wc, pedestal hand basin and panelled bath with shower attachment. Shower screen. Chrome towel rail. Fully tiled walls and floor. Series of louvred doored cupboards.

Exterior:

Front

Brick block parking space for one car. Shingled area.

Side

Further brick block parking space for further car and gates leading to useful area to one side.

Rear

Courtyard garden area predominately made up of a patio garden.



Tenancy Information
What Fees We Can Ask You To Pay

BEFORE YOU MOVE IN:

•Holding Deposit of £150.00 (which must not equate to more than one weeks' rent) This is to reserve the property. Please note, this will be withheld if any relevant person (including any guarantors) withdraw from the Tenancy, fail a right to rent check, provide materially significant false or misleading information or fail to sign their tenancy agreement (and/or deed of guarantee) within fifteen calendar days (or other deadline for agreement as mutually agreed in writing).

•Security Deposit of five weeks' rent. This covers damages or defaults on the part of the Tenant during the Tenancy.

DURING YOUR TENANCY:

• Unpaid rent: Interest at 3% above the Bank of England Base Rate from rent due date until paid in order to pursue non payment of rent. Please note: This will not be levied until the rent is more than fourteen days in arrears.

• Lost keys or other security devices: Tenants are liable to the actual cost of replacing any lost key(s) or other security device(s). If the loss results in locks needing to be changed, the actual costs of a locksmith, new lock and replacement keys for the tenant, landlord and any other persons requiring keys will be charged to the Tenant. If extra costs are incurred there will be a charge of £15.00 per hour (inc.VAT) for the time taken replacing lost key(s) or other security device(s).

• Variation of contract (Tenant's request): £50.00 (inc.VAT) per agreed variation. To cover the costs associated with taking Landlord's instructions as well as the preparation and execution of new legal documents.

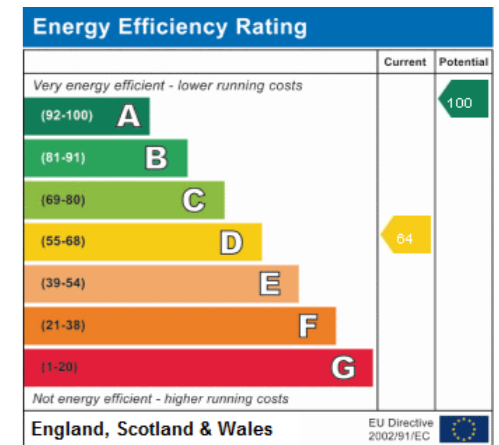
• Change of sharer (Tenant's request): £50.00 (inc.VAT) per replacement Tenant or any reasonable costs incurred if higher. To cover the costs associated with taking Landlord's instructions, new Tenant referencing and right to rent checks, deposit registration as well as the preparation and execution of new legal documents.

• Early termination (Tenant's request): Should the Tenant wish to leave their contract early, they shall be liable to the Landlord's costs in re-letting the Property as well as all rent due under the Tenancy until the start date of the replacement Tenancy. These costs will be no more than the maximum amount of rent outstanding on the Tenancy.

FURTHER INFORMATION:

• Philip Jarvis Estate Agent Ltd is a member of The Property Ombudsman Redress Scheme. www.tpos.co.uk

• Philip Jarvis Estate Agent Ltd is part of the PropertyMark Client Money Protection Scheme. Scheme reference: C0014138.



Please Note: All dimensions are approximate and quoted for guidance only. Reference to appliances and/or services does not imply they are necessarily in working order or fit for purpose. interested parties are advised to obtain verification from their solicitors as to the freehold/leasehold status of the property, the position regarding any fixtures and fittings and where the property has been extended/converted as to Planning Approval and Building Regulations compliance. These particulars do not constitute or form part of an offer or contact, nor may they be regarded as representations. All interested parties must themselves verify their accuracy. Where a room layout or virtual tour included this is for the general guidance only. it is not to scale and its accuracy cannot be confirmed.



Viewing Strictly By Appointment With