

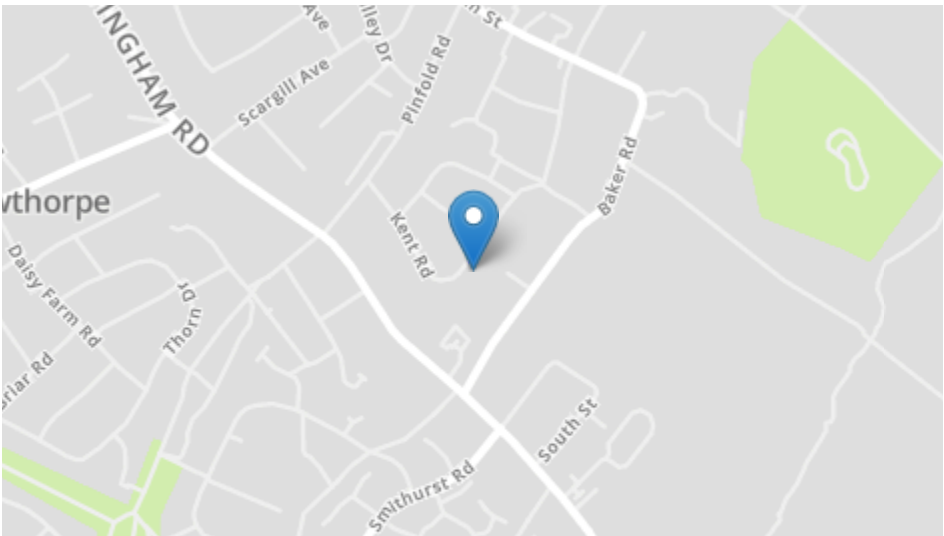
Kent Road, Giltbrook, NG16 2FU

Guide Price £220,000



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- Semi Detached Family Home
- 3 Bedrooms
- Open Plan Lounge & Dining Room
- Ample Off Road Parking
- South East Facing Rear Garden
- Well Presented Throughout
- Popular Residential Location
- Excellent Road & Public Transport Links

Our Seller says....

want to view?
Call us on 0115 938 5577
Our lines are open 8am - 8pm
7 Days a week
or email
mail@watsons-residential.co.uk
Ref - 28862711

Important note to buyers: As the selling agents for the property described in this brochure we have taken all reasonable steps to ensure our property particulars are fair, accurate, reliable and reproduced in good faith however they do not form part of any offer or contract and do not constitute representations of fact. If you become aware that any information provided to you is inaccurate please contact our office as soon as possible so we can make the necessary amendments. All measurements are provided as a general guide and floor plans are for illustration purposes only. Appliances, equipment and services in the property have not been tested by us and we recommend all prospective buyers instruct their own service reports or surveys prior to exchanging contracts.



40 Main Street, Kimberley, NG16 2LY
www.watsons-residential.co.uk

0115 938 5577
8am-8pm - 7days



*** GUIDE PRICE £220,000 - £230,000 *** ** GET READY FOR SUMMER** A brilliant first time buy! A well presented three bedroom semi-detached property in Giltbrook with a south-east facing rear garden. Open plan living is at the heart of this home. Take the next step onto the ladder and contact Watsons today. The accommodation comprises; entrance porch, open plan lounge and dining room and a kitchen fitted with modern units. On the first floor the landing leads to the bathroom & three bedrooms - two of which are double. Outside, a driveway to the front provides ample off road parking, whilst the rear garden is south-east facing, predominately lawned with a decking area. Both Kimberley & Eastwood Town Centres and Giltbrook Retail Park are a short drive away. We expect this to be popular with a range of buyers so call and book your viewing appointment today!

Ground Floor

Porch

UPVC double glazed entrance door to the front and door to the lounge.

Lounge

4.34m to the stairs (max 5.13m) x 3.95m (14' 3" x 13' 0") UPVC double glazed window to the front, wood effect laminate flooring, wooden fire place surround and tiled hearth. Radiator, stairs to the first floor, under stairs storage cupboard and open plan to the dining area.

Dining Area

3.4m x 3.3m (11' 2" x 10' 10") Sliding patio doors to the rear garden, wood effect laminate flooring, radiator and door to the kitchen.

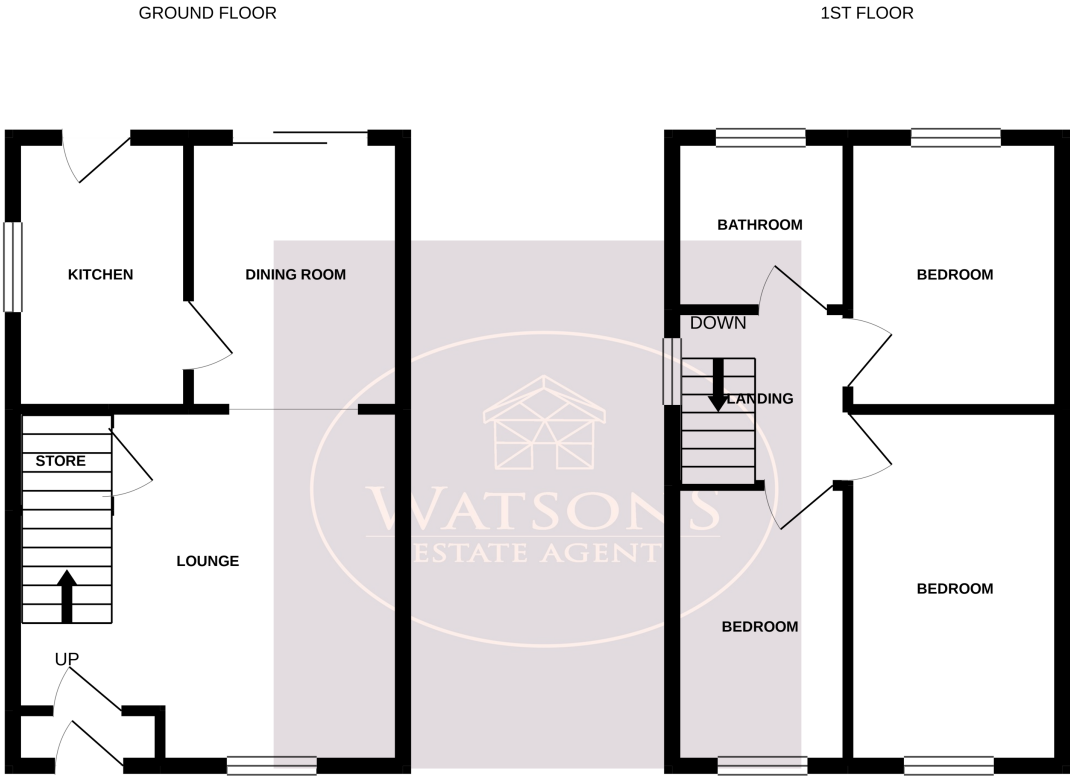
Kitchen

3.18m x 2.29m (10' 5" x 7' 6") A range of matching wall & base units, work surfaces incorporating a one & a half bowl stainless steel sink & drainer unit. Space for cooker with extractor over, wall mounted combination boiler, plumbing for washing machine, radiator, uPVC double glazed window to the side and door to the rear garden.

First Floor

Landing

UPVC double glazed window to the side, access to the attic and doors to all bedrooms and bathroom.



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Bedroom 1

4.14m x 3.45m (13' 7" x 11' 4") UPVC double glazed window to the front and radiator.

Bedroom 2

3.35m x 3.03m (11' 0" x 9' 11") UPVC double glazed window to the rear, wood effect laminate flooring, built in wardrobe and radiator.

Bedroom 3

3.15m x 2.07m (10' 4" x 6' 9") UPVC double glazed window to the front and radiator.

Bathroom

3 piece suite in white comprising WC, pedestal sink unit and bath with electric shower over. Radiator, extractor fan and obscured uPVC double glazed window to the rear.

Outside

To the front of the property is a lawned garden with flower bed borders and a range of plants & shrubs. The concrete driveway to the front & side provides ample off road parking. The rear garden is mainly lawned with patio areas, timber shed and flower bed borders with a range of plants & shrubs. The garden is enclosed by timber fencing with gated access to the side.