



22 Oaktree Close, Letchworth Garden City, Hertfordshire, SG6 3XY

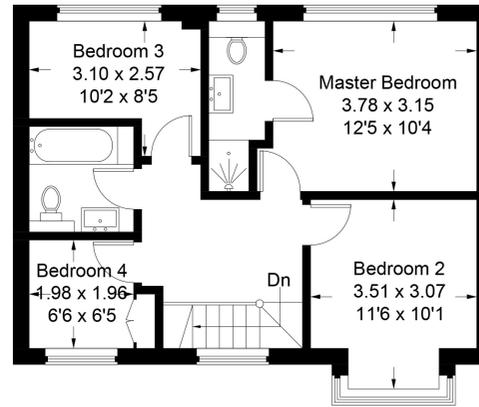
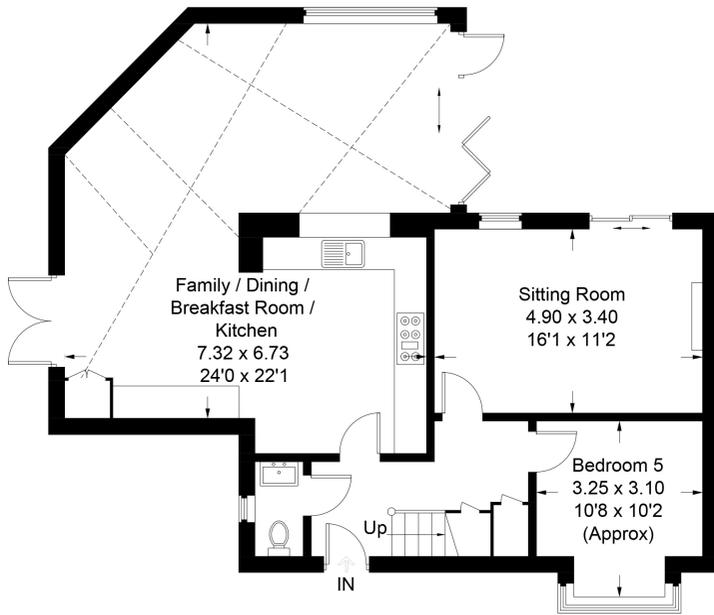
£645,000

A rarely available, uniquely designed detached family home, situated in a favoured cul de sac on Letchworth's South Side. This 4/5 bedroom property is positioned walking distance to the town, station and sought after schools. An amazing ground floor space has been redecorated with a high specification. A fantastic wrap around open plan extension provides an open plan space for a state of the art kitchen and dining space with family room, while for tranquility try the separate sitting room. With four bedrooms and a further bedroom 5 / study, including a master with en suite bathroom and further family bathroom, there is a low maintenance garden, detached garage and off road parking.



- FOUR BEDROOM DETACHED & EXTENDED FAMILY HOME
- PRIVATE CUL DE SAC LOCATION
- OPEN PLAN GROUND FLOOR LIVING SPACE
- TWO SEPARATE RECEPTIONS
- EN SUITE & FAMILY BATHROOMS
- EASY WALK TO TOWN STATION & SOUGHT AFTER SCHOOLS
- AMAZING KITCHEN & BREAKFAST AREA
- DETACHED GARAGE & DRIVEWAY
- LOW MAINTENANCE WRAP AROUND GARDEN
- CHAIN FREE - NO UPPER CHAIN
- PHOTOS PRIOR TO CURRENT LET

Approximate Gross Internal Area
 Ground Floor = 89.7 sq m / 965 sq ft
 First Floor = 51.8 sq m / 557 sq ft
 Total = 141.5 sq m / 1522 sq ft



Ground Floor

First Floor

This plan is for layout guidance only. Not drawn to scale unless stated. Windows and door openings are approximate. Whilst every care is taken in the preparation of this plan, please check all dimensions, shapes and compass bearings before making any decisions reliant upon them.
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