



73 Wapshott Road, Staines-upon-Thames, Surrey, TW18 3EP

WELL PRESENTED & SPACIOUS MODERN THREE BEDROOM, TWO BATHROOM PROPERTY SITUATED IN SOUGHT AFTER LOCATION IDEALLY POSITIONED FOR EASY ACCESS TO BOTH STAINES & EGHAM TOWN CENTRES AND LOCAL MOTORWAY NETWORKS. The property benefits from a spacious lounge, separate modern kitchen/diner, downstairs W.C, three well-proportioned bedrooms (en-suite to Bed 1), further luxury bathroom suite, large secluded rear garden and off-street parking. Viewings Highly Recommended!

ROOM DESCRIPTIONS

Covered Porch

With double glazed Composite door leading to:

Entrance Hall

Light and power points, radiator, understairs storage cupboard with light and power, stairs to first floor and doors to:

Downstairs W.C.

Front aspect UPVC double glazed window, low level W.C, wash hand basin, partly tiled walls, tiled floor, radiator, light point, fuseboard.

Kitchen/Diner

Front aspect UPVC double glazed window, range of fitted units at eye and base level, roll edged worktops, sink drainer, built-in oven and hob with extractor over, integrated dishwasher, washing machine and fridge/freezer. Cupboard housing boiler, downlighters, tiled floor, radiator.



Lounge

Rear aspect UPVC double glazed window and French doors to Garden, light and power points, TV point, two radiators.



First Floor

Landing

Light and power points, radiator, cupboard housing hot water tank, access to loft space and doors to:

Bedroom 1

Front aspect UPVC double glazed window, light and power points, radiator, walk-in wardrobe.



ROOM DESCRIPTIONS

En-suite Shower room

Low level W.C, wash hand basin, built-in shower, heated towel rail, partly tiled walls, tiled floor, downlighters, extractor.



Bedroom 2

Rear aspect UPVC double glazed window, light and power points, radiator.



Bedroom 3

Rear aspect UPVC double glazed window, light and power points, radiator.

Bathroom

Front aspect UPVC double glazed window, panel enclosed bath with shower over, low level W.C, wash hand basin, partly tiled walls, tiled floor, heated towel rail, downlighters, extractor.



Outside

Front Garden

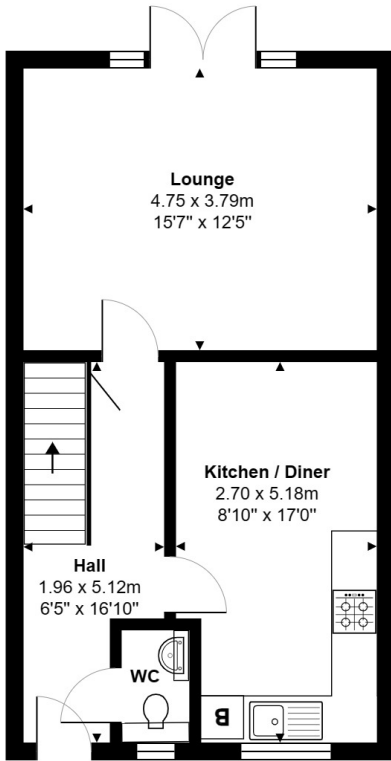
Mainly laid to block-paving providing off-street parking.

Rear Garden

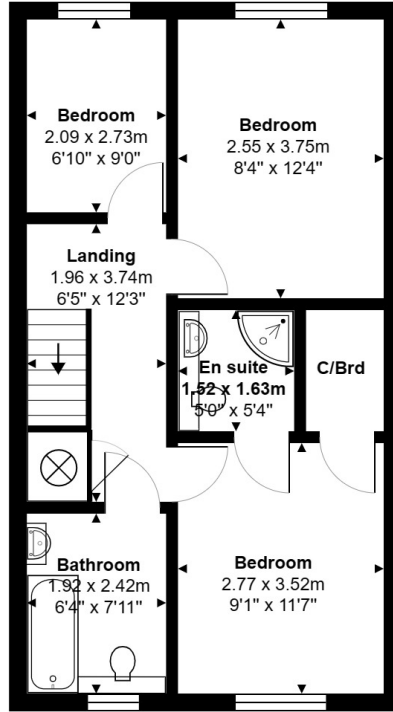
Raised decking area nearest to property, lawn and paved area, enclosed by wood-panel fencing, gated rear access.



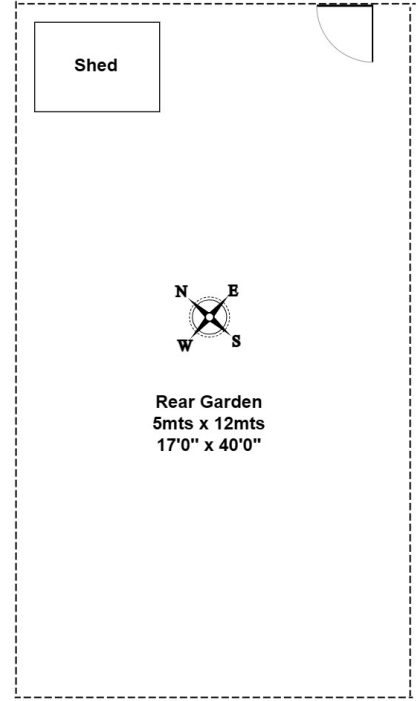
FLOORPLAN



Ground Floor



First Floor



Garden

Total Area: 86.6 m² ... 932 ft²

All measurements are approximate and for display purposes only.